

# Ancillary constructions and equipment

## Parking for residential buildings

In light of sustainable development concerns, the Borough of Saint-Laurent's zoning bylaw includes provisions for parking on residential properties.

A certificate of authorization must be obtained from the Borough before setting up or redeveloping any parking space, with the exception of routine repairs and maintenance. Also consult the information sheet on "Outdoor parking for more than 20 spaces", if applicable.

### Process

To submit a request for an authorization certificate, the form, "Application for a parking space", must be filled in and attached to the required documents. These documents must be submitted to the Division des permis et des inspections, located at 777, boulevard Marcel-Laurin.

### Costs

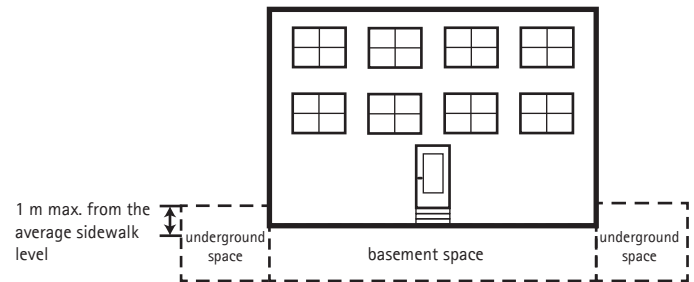
Fees are required to process a request.

### General provisions

In order to design a conforming parking space, it is important to respect the following provisions:

- All parking spaces must directly connect to a street or alley and be located on the same property as the use served.
- A parking space can be placed in front, side and back yards under certain conditions.
- A parking space cannot be placed in front of a building facade, except for the part of the facade which has a vehicular opening or a garage door.
- The maximum projection of the garage in relation to the main plan of the front facade of the main building is 1.5 m.
- The net weight of a vehicle occupying the parking space must be less than or equal to 2500 kg.
- A parking space must be surfaced in auto-blocking paving, asphalt, concrete, cement, or permeable paving. A parking area of less than 5 spaces may be covered with approximately 1.27 cm (0.5 inch) of river stones.
- The slope of an indoor or outdoor vehicle driveway must not be more than 15 %.
- Temporary, occasional or permanent parking of any vehicle is prohibited on grass, dirt or any other material not designed for this purpose.
- In the case of underground parking, when the underground construction extends beyond the building walls, the maximum height of the exterior part of the storey occupied by parking is 1 m (figure 1).

Figure 1: Underground parking



### Single-family home

#### Number of spaces permitted

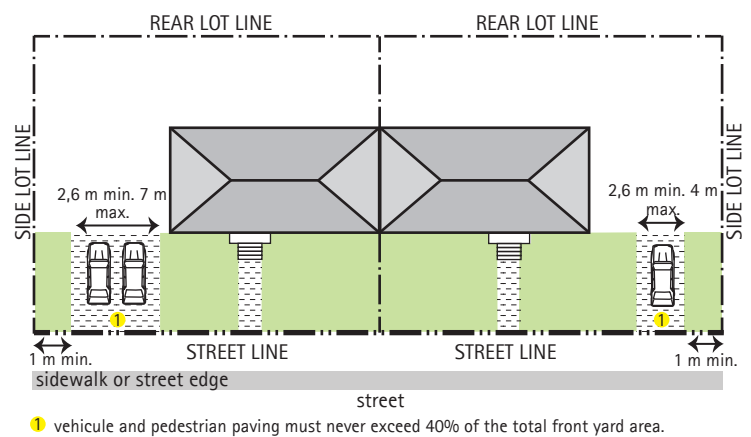
- Minimum: 1 space
- Maximum: 2 spaces
- Conditions: Maximum of 2 vehicular openings per building

#### Minimum and maximum widths of an outdoor parking space (figure 2)

The following provisions apply to exterior parking spaces located in the front yard or the front setback of a back yard.

- 1 space  
Minimum: 2.6 m  
Maximum: 4 m
- 2 spaces  
Minimum: 2.6 m  
Maximum: 7 m

Figure 2: Minimum and maximum width of a parking area with one or two parking spaces



#### Additional provisions

- A basement parking space and underground parking are prohibited unless the vehicular opening is located on the side wall or the rear wall of the building.
- A common driveway is prohibited for detached single-family houses.

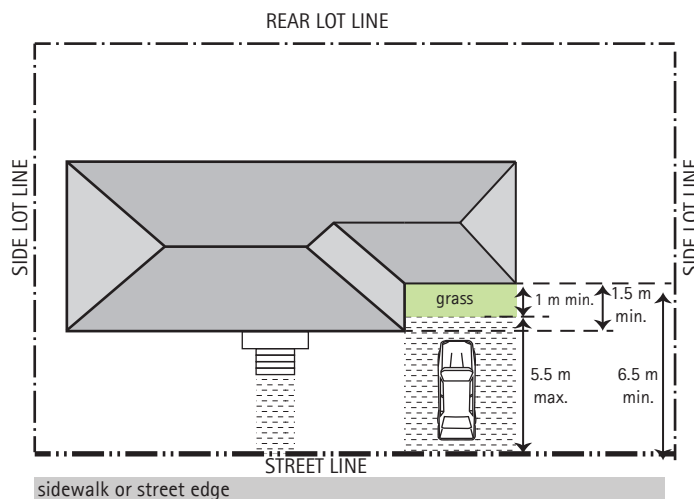


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## Parking for residential buildings

- A crescent-shaped parking space is prohibited in a front yard or a front setback of a back yard.
- It is permitted to not create a mandatory parking space as long as the assigned area is planted with grass.
- A parking space can be placed in front of the building facade on condition that it is set back 1.5 m from the main facade wall. This wall must be more than 6.5 m from the street line. The maximum length of this parking space is 5.5 m. In addition, the minimum distance between the setback and the parking space is 1 m and must be planted in grass (figure 3).

Figure 3: Design of a parking space in front of a building facade



### Two-family housing

#### Number of spaces permitted

- Minimum: 2 spaces
- Maximum: 4 spaces

### Residential multiplex

#### Number of spaces permitted

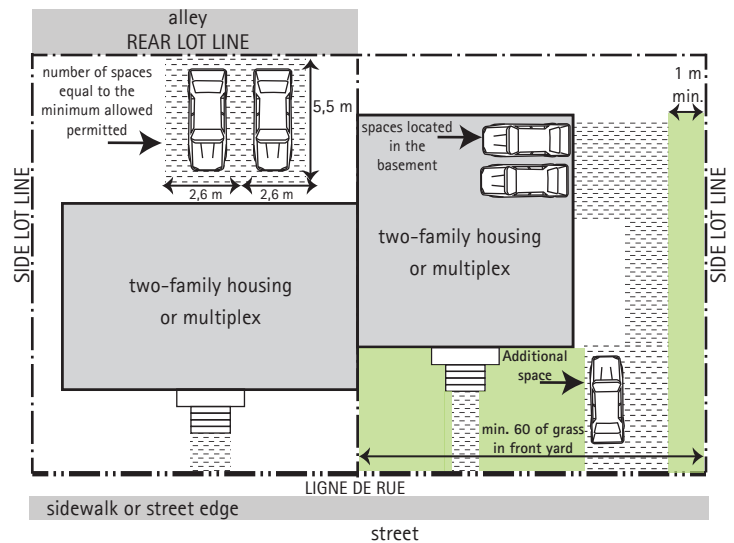
- Minimum: 1 space per dwelling
- Maximum: 2 spaces by dwelling

### Additional provisions related to two-family residential buildings and multiplexes

- All required parking spaces must be located in the basement.
- A parking space can be located underground provided that the vehicular opening is located on a side or rear wall of the building, or on a facade other than the main facade if the lot is adjacent to more than one street.
- A parking space can be placed in a back yard, if its directly accessible from an alley, and provided that:
  - The maximum number of parking spaces authorized in the rear yard is equal to the minimum required number.
  - The parking spaces are accessible directly from the alley.
  - The width of the parking spaces must be 2.6 m, and the length, 5.5 m (figure 5).

- Additional parking spaces over and above the minimum required may be set up in the front setback and front yard provided that at least 60 % of the front yard is grassed (figure 4).

Figure 4: Design of a parking space for a two-family residential building or a multiplex



### Multifamily housing

#### Number of spaces permitted

- Minimum: 1.1 space per dwelling
- Maximum: 150% of the minimum required
- Conditions:
  - All spaces must be located in the basement or underground.
  - Visitor parking, representing 10% of the minimum number of spaces allowed, must be located outside.

#### Additional provisions

If the visitor parking includes more than 5 parking spaces, the following provisions apply:

- The parking spaces must be delimited by a white or yellow painted line on the ground or delineated by the paving.
- The parking lot must be surrounded by a concrete border of a minimum height and width of 15 cm. In addition, it must be located at least 1 m from any property line.



Information: 311 - [ville.montreal.qc.ca/saint-laurent/infosheets](http://ville.montreal.qc.ca/saint-laurent/infosheets)

Legal framework: Règlement sur le zonage n° RCA08-08-0001

Notice: Certain specific provisions, not mentioned in this document, may apply. This information sheet has been prepared for the convenience of the reader and has no official status. Text accuracy is not guaranteed. For legal purposes, consult the official French version of the bylaw and all its amendments.

APPLICATION FOR A PARKING SPACE

All fields must be completed and all required documents must be submitted with the application.  
Incomplete applications will not be considered. Please note that the specific zoning clauses must be verified.  
**REQUIRED DOCUMENTS**

☐ **2 copies** of the certificate of localisation, to scale.

☐ **2 copies** an implantation plan, to scale, showing the existing parking and the new parking space.

☐ **2 copies** of the product sheet of the material indicating that the IRS is at least 29 .

☐ **3 copies** a landscape plans showing the trees and their shading, when more than 20 parking spaces.

☐ An application for the **certificat of authorization to cut a tree** is required, if applicable.

☐ A permit application for water retention is required, if applicable.

☐ **The payment** according to the fees in force; if cheque, payable to **Ville de Montréal**.

1. LOCATION OF THE WORK

Civic number

**New driveway access planned**  
☐ yes ☐ no

**Type of building**  
☐ Residential H1, H2, H3, H4, H5, H6 (circle) ☐ Commercial ☐ Office ☐ Industrial ☐ Institutionnal

**Location of the parking area**  
☐ Front yard ☐ Secondary front yard ☐ Right side yard ☐ Left side yard ☐ Back yard

**Type of coating for parking (traffic lane)**  
☐ Grey concrete ☐ Alveolate pavement ☐ Product coating of a IRS more than 29

**Type of work**  
☐ Addition of parking; no. \_\_\_\_\_  
☐ Widening of a parking space  
☐ Parking reconfiguration

2. OWNER OF THE PROPERTY

Name

Name of contact

Complete address

Phone

Cell phone

Email address

☐ I hereby authorize the applicant to apply for this Certificate on my behalf.

**Signature of the owner**

3. GENERAL CONTRACTOR

Name of the company

Name of contact

Adresse complète

Phone

Email address

RBQ number

**Value of the work**

Begin date of the work

End date of the work

4. DESIGNER OF PLANS

Name of the company

Contact person

Complete address

Phone (office)

Phone (cell)

Email address

5. ESTABLISHMENT (if applicable)

Name of the business

Certificate of authorisation of use issued by the Saint-Laurent Burrow

6. APPLIQUANT

First name and last name

Complete address

Postal code

Phone

Email address

**I certify that the information provided is accurate.**  
**I acknowledge that any error or omission could result in the cancellation of this application and the certificate.**

Signature of the applicant

Date

À L'USAGE DU BUREAU SEULEMENT

Résolution de la dérogation mineure, si applicable

Approbation en date du

Approuvé par

Numéro de la demande de certificat

Notes

(12/2017)