

Regulations Minor Exemptions

A Minor Exemption is an exceptional procedure granted by the Borough Council to a project that does not respect certain provisions of the zoning or lot subdivision regulations. This provides some flexibility to regulations when an exemption is considered to be "minor".

Process

To submit a request for a Minor Exemption, the form, "Request for a Minor Exemption", must be filled in and attached to the required documents. These documents must be submitted to the Division des permis et des inspections, located at 777, boulevard Marcel-Laurin.

The request for a Minor Exemption will be submitted to the Division de l'urbanisme for a preliminary evaluation. The analysis will then be submitted to the Advisory Committee on Planning (ACP).

Costs

Fees are required to process a request.

Conditions

A Minor Exemption is granted only if all following conditions are respected:

- Application of the zoning or lot subdivision bylaw would create serious damages for the applicant.
- The Minor Exemption would not affect the enjoyment of property rights by the owners of neighbouring buildings.
- If work has already begun or been completed, the applicant had obtained a construction permit or an authorization certificate for this project, and did the work in good faith.
- The Minor Exemption must respect the Montréal Master Plan.

Elements that may be covered by a Minor Exemption

A Minor Exemption can only address provisions on the following elements of the zoning and lot subdivision bylaws:

- Encroachment of a building on a setback.
- Location and normative specifications for uses, buildings, ancillary constructions and equipment that are permitted in a setback or a yard.
- Sign area, location and height.
- Floor level of a ground floor.
- Height of a building measured in metres.
- Building facade width.
- Architecture and exterior appearance of a building.
- Depth, frontage and size of a lot.
- Vehicular access via the facade of an industrial building (an opening in the front wall).
- Storage space for dwellings in residential buildings subject to Canadian National Building Code review by the *Régie du Logement du Québec*.

IMPORTANT: A Minor Exemption cannot address provisions related to use and density.

Public notice

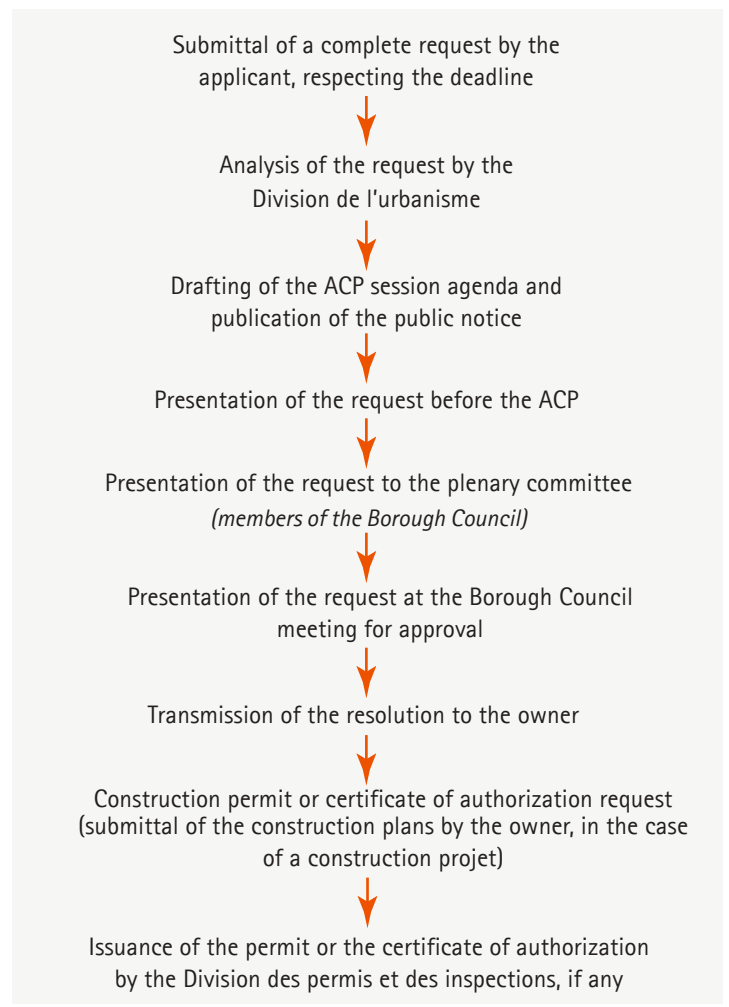
A public notice will be published 15 days prior to a Borough Council meeting during which the request will be dealt with and citizens will be invited to comment during discussion of the request.

Validity of a Minor Exemption

Work requiring a Minor Exemption must be carried out and completed no more than one year after the Minor Exemption was obtained.

Procedure

The following presents the procedure for a Minor Exemption request:



Information: 311 - ville.montreal.qc.ca/saint-laurent/infosheets

Legal framework: Règlement sur les dérogations mineures n° 1054
Règlement sur les tarifs n° RCA14-08-1

Notice: Certain specific provisions, not mentioned in this document, may apply. This information sheet has been prepared for the convenience of the reader and has no official status. Text accuracy is not guaranteed. For legal purposes, consult the official French version of the bylaw and all its amendments.



- Please complete this form and present it with your payment to the address above.

► All fields are mandatory and all required documents must be provided at the time of the application.

► Incomplete applications will not be considered.

REQUIRED DOCUMENTS FOR THE REQUEST

☐ A complete and current location certificate, prepared by a land surveyor, including text and scaled plan.

☐ An up-to-scale site plan and architectural plans, if applicable (3 copies). These are not final working plans for construction permit.

☐ An electronic version (in dwg, tiff or jpg format) of the provided location certificate or plans (on a CD).

☐ A sample of the materials to be used for the exterior finish of the submitted project, if applicable.

☐ A power of attorney signed by the property owner, if different from the applicant.

☐ A cheque **payable to the Ville de Montréal** in the amount of **\$357** for the admissibility study of the minor exemption, non-refundable.
If the minor exemption is admissible, provide a second cheque of **\$551** (for a total amount of \$908) for a residential building of fewer than five (5) units, or a second cheque of **\$1459** (for a total amount of \$1816) for all other applications.

☐ Others:

It is strongly advised to verify if the proposed project is conform to the current zoning regulation no RCA08-08-0001.

PROPERTY COVERED BY THE APPLICATION

Address	Cadastral number (if known)
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PURPOSE OF THE EXEMPTION

Describe the nature of your request

DAMAGES TO INTERESTS

Explain how the existing bylaw damages your interests

OWNER

Last and first name / Company	
Full address	Postal code
Phone number	E-mail address
SIGNATURE OF THE OWNER	

APPLICANT

Last name and first name	
Full address	Postal code
Phone number	E-mail address

SIGNATURE OF THE APPLICANT

DATE

OFFICE USE ONLY	
ACB responsable :	Notes :
PIIA applicable : <input type="checkbox"/> Oui <input type="checkbox"/> Non	
Étude de Droits acquis effectuée : <input type="checkbox"/> Oui <input type="checkbox"/> Non	
Recevabilité: <input type="checkbox"/> Oui <input type="checkbox"/> Non	350 \$ fourni <input type="checkbox"/> Oui <input type="checkbox"/>
2 ^e chèque fourni : <input type="checkbox"/> 540 \$ <input type="checkbox"/> 1 430 \$	